

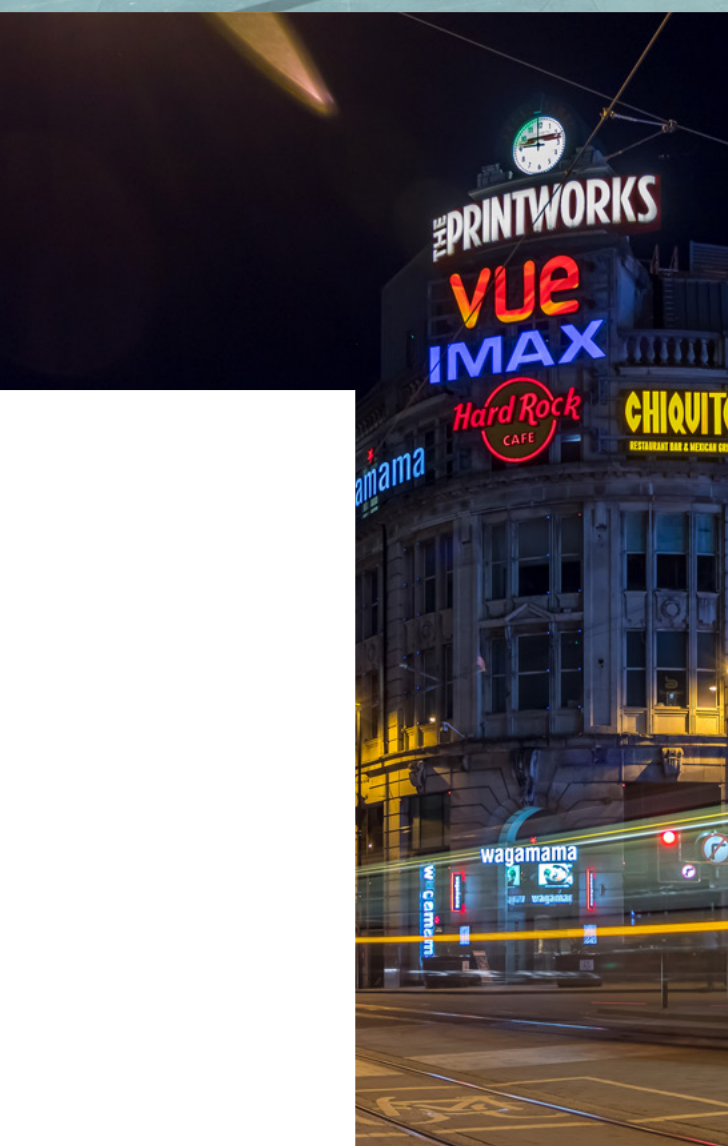
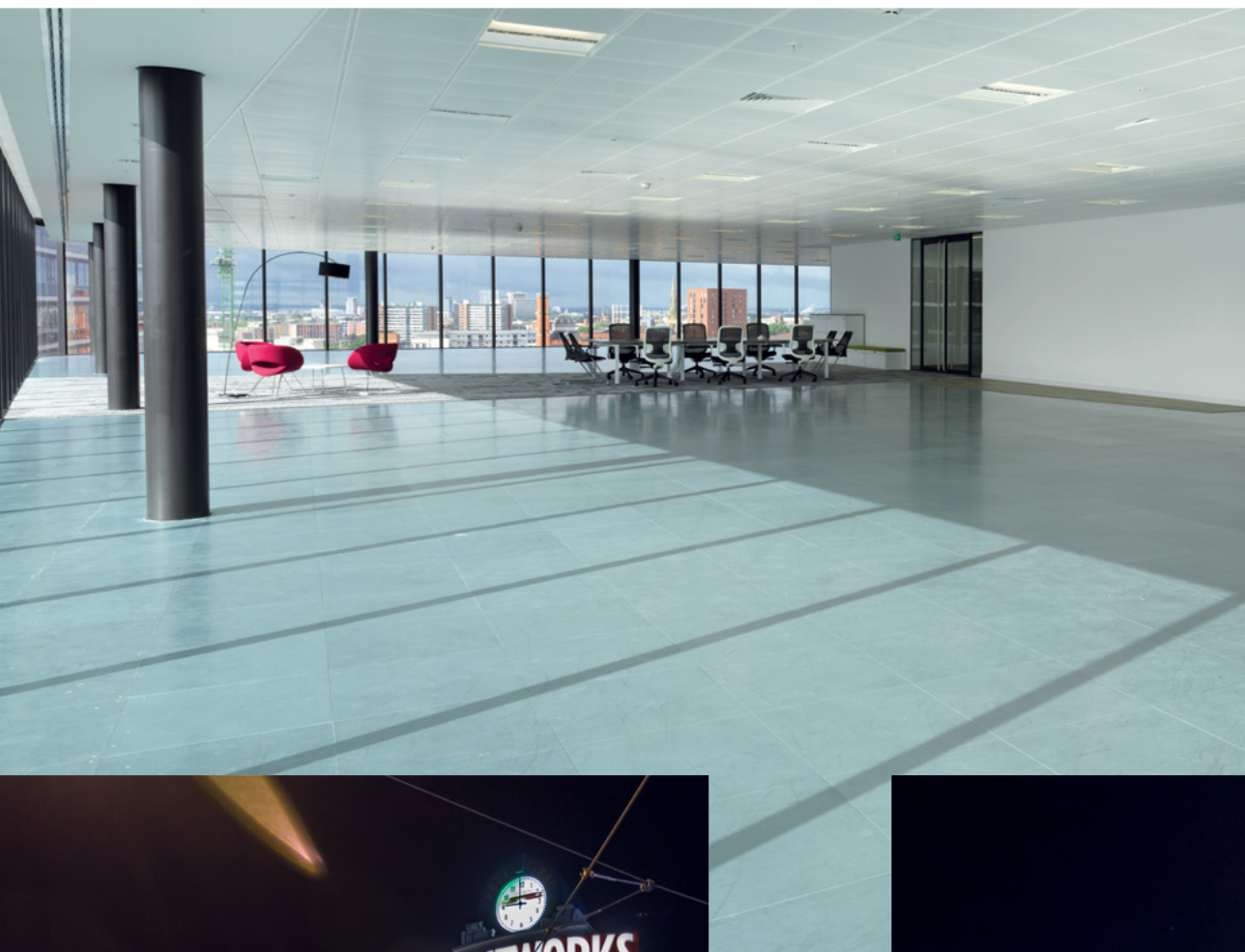
EMBANKMENT

CATHEDRAL APPROACH MANCHESTER





101 Embankment sits proudly overlooking Manchester's medieval quarter, an area rich in heritage and history, and at the centre of a vibrant multi-million pound investment and re-development programme. Business, fashion, music, theatre, transport, leisure, residential and retail are all intrinsically woven into the fabric of a flourishing district creating the 'go to' place in Manchester.



IMMERSED
IN CULTURE
AND AT THE
CENTRE OF A
BURGEONING
COMMERCIAL
LANDSCAPE

BREATHTAKING GRADE A
OFFICE SPACE FROM
17,626 - 70,504 SQ FT





A BUZZING HUB OF RESTAURANTS AND BARS



A walk along New Cathedral Street will reveal designer brands at Harvey Nichols and Selfridges, along with international boutiques such as Michael Kors, Louis Vuitton and Hugo Boss. The Cathedral itself has undergone extensive improvements to its setting, adding new landscaping for the enjoyment of the local community.

The opportunity to sample Manchester's fine dining is well served with notable eateries The French, Restaurant MCR and ABode all close by. The Corn Exchange, The Printworks and Northern Quarter cater for a diverse range of tastes, and as you'd expect from a city that never sleeps, transform into a buzzing hub of restaurants and bars.



BARS & RESTAURANTS

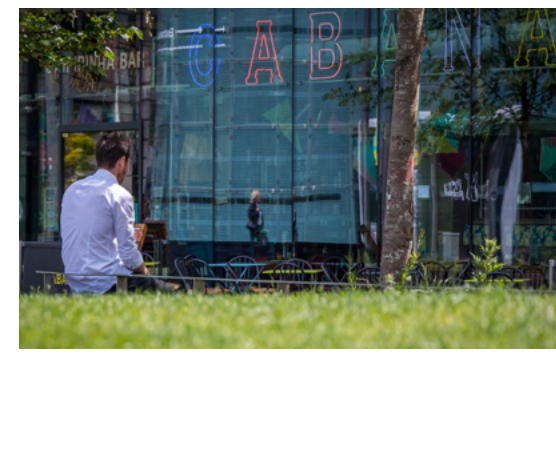
- 1 The Pasta Factory
- 2 RBG Bar & Grill
- 3 Umezushi
- 4 63 Degrees
- 5 Common
- 6 Teacup Kitchen
- 7 Grindsmith
- 8 Bakerie
- 9 La Bandera
- 10 Banyan
- 11 Mowgli Street Food
- 12 Byron
- 13 Lupe Caffe Italiano
- 14 Menagerie
- 15 Zizzi
- 16 Australasia
- 17 eastZeast
- 18 Hanging Ditch
- 19 Eagle Inn
- 20 Shambles Square
 - Sinclair's Oyster Bar
 - Crown & Anchor
 - The Old Wellington

RETAIL, CULTURE, LEISURE & ENTERTAINMENT

- 1 Nuffield Gym
- 2 National Football Museum
- 3 Manchester Arena
- 4 The Printworks (17 Bars & Restaurants)
- 5 The Corn Exchange (12+ Restaurants)
- 6 Selfridges
- 7 Harvey Nichols
- 8 Royal Exchange Theatre
- 9 Band on the Wall
- 10 Chethams
- 11 Manchester Cathedral
- 12 Sainsbury's Local
- 13 M&S

HOTEL & RESIDENTIAL

- 1 Green Quarter
- 2 Greengate
- 3 City Suites
- 4 Lowry Hotel
- 5 Travelodge
- 6 Premier Inn
- 7 Roomzzz
- 8 Hotel Indigo
- 9 Propertea





MANCHESTER IS A GLOBAL BRAND, HOME TO ICONIC INSTITUTIONS WITH A RICH SOCIAL AND CULTURAL TRADITION

Manchester is well known as being a pioneering city. From the days of the industrial revolution to more recent times of digital innovation and economic progress Manchester has led the way.



A view of the city centre from the 9th floor



MANCHESTER
HAS ONE OF
THE LARGEST
COMMUTER
WORKFORCES
IN EUROPE – 7.2M

The city knows how to enjoy itself too!
Award-winning theatres, galleries,
museums and concert halls pay testament
to the city's remarkable heritage.



Voted the best overall choice for
business in the UK outside London, the
city attracts increasing national and
international companies, all drawn by its
competitiveness, its transport links and its
highly motivated and skilled workforce.



80 OF FTSE 100
COMPANIES HAVE
A PRESENCE IN
MANCHESTER



MANCHESTER
CONTRIBUTES
£56 BILLION
GVA TO THE UK



INSPIRATIONAL QUALITY AND FLEXIBLE FLOOR PLATES

With a striking elevated position and superb double height coloured glazed wall reception, 101 Embankment offers a striking sense of arrival, a journey to be enjoyed by staff and visitors alike.

Inspirational quality and flexibility of floor plates make this building so special, offering 360 degree panoramic views across the river, medieval quarter and the city centre.

Large floors with uninterrupted natural light enable a wide range of working environments.

For staff comfort the building provides at ground floor level cycle storage, showers, drying rooms and lockers.

A restaurant and break out area with large screen TVs, pool table, mezzanine level and relaxing seating are also found on the ground floor.

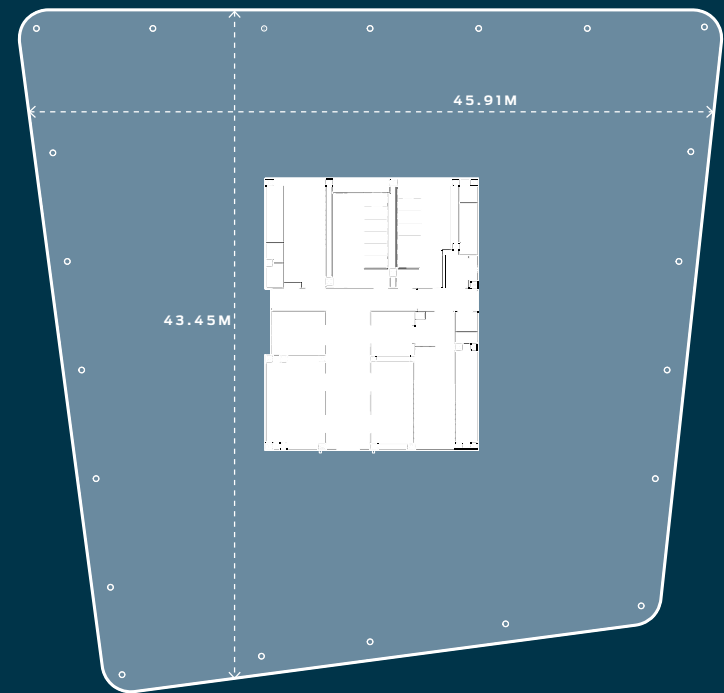


SPECIFICATION

- Impressive double height main building reception with controlled security gate access
- Built to support occupational density of 1:8 sq m
- 24/7 access
- Onsite building management and concierge reception
- Full access raised floors
- Extensive riser space for tenants fit out
- Suspended ceilings with LG7 compliant lighting
- BREEAM excellent
- Male, female and DDA WC's to each floor
- 4 x 21 person passenger lifts
- 1 x 26 person/goods lift
- 1 x 21 person/firefighting lift
- Dedicated service lift from rear service area
- Car parking in Q-Park managed facility
- Ground floor restaurant, cycle storage, male and female showers, lockers and drying room



TYPICAL UPPER FLOOR



AVAILABILITY

7th Floor	17,626 sq ft	1,638 Sq m
6th Floor	17,626 sq ft	1,638 Sq m
5th Floor	17,626 sq ft	1,638 Sq m
4th Floor	17,626 sq ft	1,638 Sq m
Total	70,504 sq ft	6,552 Sq m

422 car parking spaces located in the secure basement Q-park car park.

FULLY FITTED FLOORS

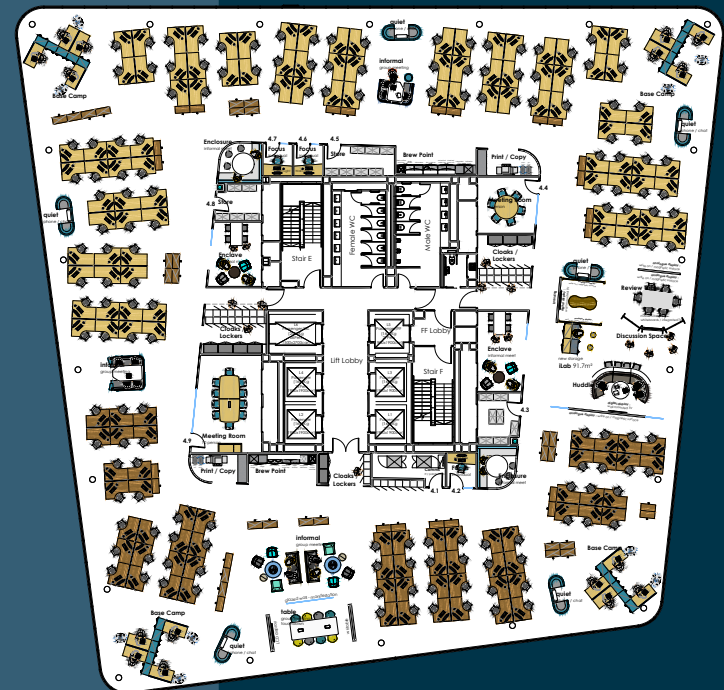
The fourth and fifth floors provide two fitted out floors - complete with kitchens, meeting rooms and break out areas.

FOURTH FLOOR - FIT-OUT

- 158no. Workstations
- 16no. Base camp positions
- 174no. Total settings**
- 1no. Meeting room 10 person
- 1no. Meeting room 6 person
- 3no. Focus rooms
- 3no. Stores
- 2no. Cloaks & locker positions
- 2no. Brew points
- 2no. Print / copy areas
- 2no. Enclaves
- 2no. Enclosures
- 5no. Phone chairs

Approx 240 lockers on floor

- 174no. Workstations @ 9:10 ratio = 193
- 174no. Workstations @ 8:10 ratio = 218
- 174no. Workstations @ 7:10 ratio = 254





FIRST CLASS CONNECTIVITY

For those walking to the building the journey is completed along an elegant walkway directly opposite Manchester Cathedral.

Car parking couldn't be easier. An underground secure 422 space Q-park car park is on the doorstep, with a pedestrian access point right outside the entrance to 101 Embankment.

Manchester's Metrolink tram network with links to local conurbations can be accessed at Exchange Square only a 2 minute stroll away. The city's 2 main train stations Victoria and Piccadilly, provide national rail links to the whole of the UK. Victoria is within a 2 minute walk of the building whilst Piccadilly is just a short tram journey away.

9 miles south of the building is Manchester Airport, a 26 minute drive away or 45 minute Metrolink / train journey.


EXCHANGE
SQUARE /
SHUDEHILL
2 MINUTES


VICTORIA
2 MINUTES


MARKET ST.
5 MINUTES


LEEDS
49 MINUTES


ST PETER'S
SQUARE
6 MINUTES


BIRMINGHAM
1 HR 26 MIN


DEANSGATE
STATION
9 MINUTES


LONDON
2 HR 7 MIN


MANCHESTER
PICCADILLY
16 MINUTES


EDINBURGH
3 HR 23 MIN


MANCHESTER
AIRPORT
45 MINUTES

METROLINK IS THE
LARGEST LIGHT RAIL
NETWORK IN THE
UK, COVERING ALMOST
60 MILES & SERVING
92 STOPS



VICTORIA STATION HAS UNDERGONE A
COMPLETE REFURBISHMENT WITH A TOTAL
INVESTMENT OF £48.5M



Q PARK

TO LET





1 0 1 E M B A N K M E N T . C O M

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