



Buttercup Road, Cambridge
Guide Price £290,000 Leasehold

**Sharman
Quinney**

Key Features



125 Years remaining as of 25 Dec 2006

£100.00 Ground Rent pcm

Review due: Ask Agent

£1400.00 Service Charge pcm

Review due: Ask Agent

- Modern, ground floor apartment
- Two double bedrooms
- Dual aspect open-plan living space
- Fitted kitchen
- Allocated garden

This contemporary, purpose built apartment occupies the ground floor and benefits from its own personal garden area. It is offered for sale in good decorative order and comprises an entrance hall with two storage cupboards, open-plan living space with dual aspect including a well-appointed fitted kitchen with integrated appliances such as



fridge/freezer, washing machine, dishwasher and electric oven with hob and extractor hood over. There are two generous double bedrooms and a bathroom with 3-pc suite.

The property includes an allocated car port parking space for one vehicle, with access from the rear to its own private garden.

Bedroom 1 - 2.95x4.47

Bedroom 2 - 4.00x2.64

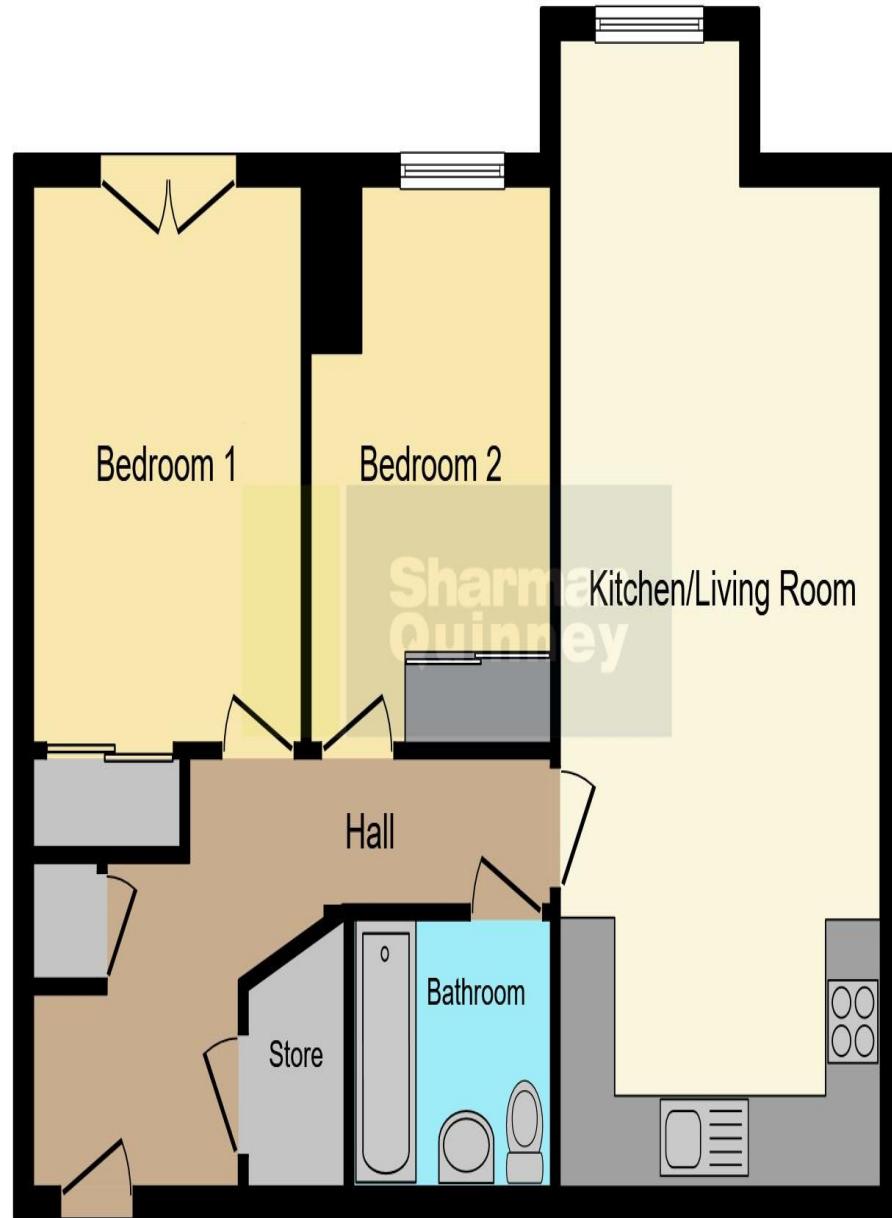
Kitchen - 3.52x7.53

Bathroom - 2.16x1.77

Hall 7.05x3.35



Start
BISMILLAH
L'END
AL HAJ
APPRECIATE
SUBHAN
HOPE
IN SHA
LIFE &
BLESSED!



This floorplan is for illustrative purposes only and is not drawn to scale. Measurements, floor-areas, openings and orientations are approximate. They should not be relied upon for any purpose and do not form any part of an agreement. No liability is taken for any error or mis-statement. All parties must rely on their own inspections.

To view this property call Sharman Quinney on:
01223 426139

Selling your property?

Contact us to arrange a **FREE**
home valuation.

 01223 426139

 Unit 5 Orchard House Unwin Square, Orchard Park, CAMBRIDGE, Cambridgeshire, CB4 2AD

 orchardpark@sharmanquinney.co.uk

 www.sharmanquinney.co.uk



 SCAN ME



Sharman Quinney Holdings Limited is registered in England and Wales under company number 4174227, Registered Office is Cumbria House, 16-20 Hockliffe Street, Leighton Buzzard, Bedfordshire, LU7 1GN. VAT Registration Number is 500 2481 05.

1: These particulars do not constitute part or all of an offer or contract. 2: The measurements indicated are supplied for guidance only and as such must be considered incorrect. 3: Potential buyers are advised to recheck the measurements before committing to any expense. 4: Sharman Quinney has not tested any apparatus, equipment, fixtures, fittings or services and it is the buyers interests to check the working condition of any appliances. 5: Sharman Quinney has not sought to verify the legal title of the property and buyers must obtain verification from their legal representative. 6: Intending purchasers will be asked to produce identification documentation at a later stage and we would ask your co-operation in order that there will be no delay in agreeing the sale. Ref. :ORP101718 - 0001