



20 Mallard Court, Oakham, LE15 6RQ

 **NEWTON FALLOWELL**

3 2 1

Key Features

- Modern End Of Terrace
- Three Double Bedrooms
- Three Storey
- En-Suite To Master
- Allocated Off Road Parking
- Enclosed Rear Garden
- Ideal First Time Purchase
- 50% Shared Ownership (100% Is Available)
- EPC Rating C
- Leasehold

£99,000





An immaculately presented three-story townhouse located with the town centre, within walking distance to the high street, train station and local amenities. Offering three double bedrooms with an en-suite to the master, an enclosed private rear garden, and allocated parking space. Being sold on a 50% shared ownership basis the property would make an ideal first-time purchase. CALL TO VIEW!



The property comprises an entrance hall with a downstairs cloakroom and stairs rising to the first floor, a spacious and modern open plan living/dining room with under stairs cupboard and patio doors providing access to the rear garden, the kitchen offering a range of white wall and base level units with integrated appliances and space for white goods.

To the first floor are two double bedrooms and a family bathroom comprising of a white three-piece suite with shower over bath and to the second floor the spacious master bedroom with en-suite can be found.



Externally the property offers an enclosed low-maintenance rear garden with a patio seating area suitable for entertaining and a rear access gate that leads out to the allocated parking space.

Room Measurements

Entrance Hall 1.05m x 2.59m (3'5" x 8'6")

Living / Dining Room 3.41m x 4.63m (11'2" x 15'2")

Kitchen 2.37m x 2.38m (7'10" x 7'10")

Downstairs W.C 1.03m x 1.04m (3'5" x 3'5")

Bedroom One 2.71m x 4.32m (8'11" x 14'2")

En-Suite 1.86m x 1.96m (6'1" x 6'5")

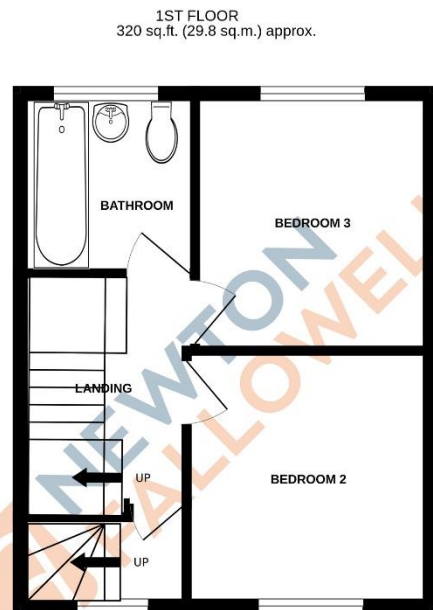
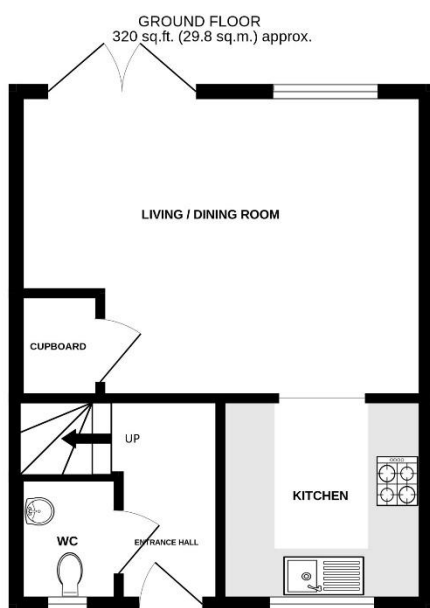
Bedroom Two 2.69m x 2.93m (8'10" x 9'7")

Bedroom Three 2.91m x 2.51m (9'6" x 8'2")

Bathroom 2.04m x 1.91m (6'8" x 6'4")

Shared Ownership Information

A 125 year lease was granted in May 2006. The seller currently owns a 50% share of the property and pays rent of £442.08 monthly on the remaining 50% share to Nottingham Housing Association. The Shared Ownership scheme does allow purchasers to buy an increased share in the property, subject to application approval. The property is also liable to pay a monthly service charge which equates to £11.16 per month. Contact Newton Fallowell for further information.



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TOTAL FLOOR AREA : 855 sq.ft. (79.4 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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Score	Energy rating	Current	Potential
92+	A		
81-91	B		87 B
69-80	C	74 C	
55-68	D		
39-54	E		
21-38	F		
1-20	G		

COUNCIL TAX INFORMATION:

Local Authority: Rutland County Council
Council Tax Band: C

AGENTS NOTE:

Please note these particulars may be subject to change and must not be relied upon as an entirely accurate description of the property. Although these particulars are thought to be materially correct, their accuracy cannot be guaranteed, and they do not form part of any contract. Some measurements are overall measurements and others are maximum measurements. All services and appliances have not and will not be tested.

ANTI-MONEY LAUNDERING REGULATIONS:

Intending purchasers will be required to provide identification documentation via our compliance provider, Lifetime Legal, at a cost of £55 per transaction. This will need to be actioned at the offer stage and we would ask for your cooperation in order that there will be no delay in agreeing the sale.

REFERRAL FEES:

Newton Fallowell and our partners provide a range of services to buyers, although you are free to use an alternative provider. We can refer you on to Mortgage Advice Bureau for help with finance. We may receive a fee of £300 if you take out a mortgage through them. If you require a solicitor to handle your purchase, we can refer you on to our in-house solicitors. We may receive a fee of £200 if you use their services.