



Boxhill Road, Tadworth

The **PERSONAL** Agent



# Price Guide £1,050,000

## Freehold

- Four bedroom detached family home
- Triple car port
- Private and secluded location
- Sitting room with wood burning stove
- Conservatory
- Hand painted Smallbone kitchen
- Two ensuite shower rooms
- Walk-in wardrobe
- Third of an acre plot
- Semi-rural location

A stunning four bedroom detached family home situated in an idyllic location surrounded by trees and countryside. Offering a generous 2342 square feet in all and oozing charm throughout with flexible living to suit any family. The property enjoys a great deal of privacy in the well-tended private gardens, the plot being about a third of an acre overall.

A stunning four bedroom detached family home situated in an idyllic location surrounded by trees and countryside.

You are greeted by a large driveway with plenty of parking, a triple car port and summer house.

The ground floor is beautifully presented offering



flexible accommodation and offers a sitting room with wood burning stove; conservatory, bespoke hand painted Smallbone kitchen with dining area opening to the rear garden; utility room, and fourth bedroom with ensuite shower room.

Upstairs there are three further bedrooms, the main bedroom having an ensuite shower room; a family bathroom, and walk in wardrobe.

To the rear, the garden is mainly laid to lawn, and offers privacy and seclusion, with side access.

Box Hill is a beautiful location, offering rural life tranquillity with easy access to nearby towns such as Dorking and Reigate and the nearby villages.

Surrounded by National Trust walks, close to Headley Heath and situated within an Area of Outstanding Natural Beauty, Box Hill offers so much. You are surrounded by options for recreational activities including some of the best golf clubs around, Beaverbrook, Walton Heath,, Epsom RAC club, and Tyrells Wood.

Whilst a beautiful rural location Box Hill offers easy access to the M25.

There is a large selection of excellent schools nearby including Epsom College, St John's School, City of London Freemans, The Ashcombe, and The Priory.

Tenure - Freehold  
Council tax band - G





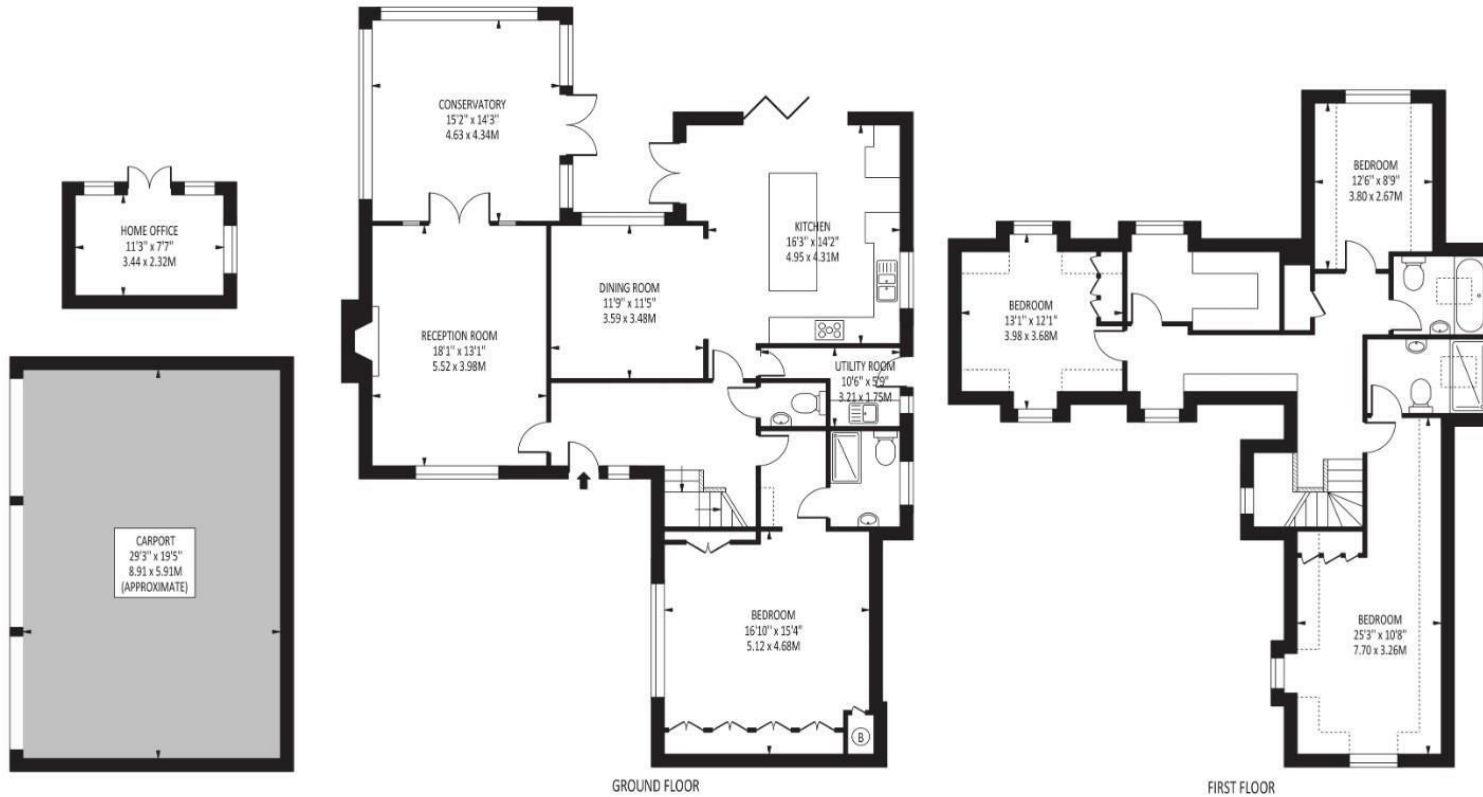




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### Little Whispers

Total Area: 2342 SQ FT • 217.58 SQ M  
(Including Restricted Height Area & Home Office)  
Restricted Height Area : 139 SQ FT • 12.87 SQ M  
Home Office Area : 86 SQ FT • 7.98 SQ M



GROUND FLOOR

FIRST FLOOR

Disclaimer: For Illustration Purposes only

This floor plan should be used as a general outline for guidance only and does not constitute in whole or in part an offer of contract.  
Any intending purchaser or lessee should satisfy themselves by inspection, searches, enquiries and full survey as to the correctness of each statement.  
Any areas, measurements or distances quoted are approximate and should not be used to value a property or be the basis of any sale or let.

### Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
	76	85
England & Wales	EU Directive 2002/91/EC	

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**Please Note:** Whilst every attempt has been made to ensure the accuracy of the floorplans contained here, measurements of doors, windows and room areas are approximate and no responsibility is taken for any error, omission or mis-statement. These plans are for representation purposes only and should be used as such by and prospective purchaser. The services, systems and appliances listed in the specification have not been tested by The Personal Agent and no guarantee as to their operating ability or their efficiency can be given. All images and text used to advertise our properties are for the sole use of The Personal Agent Ltd.

