



## Melrose Avenue, NW2

### Leasehold - £425,000

For Sale and offered Chain Free is this well-presented Top Floor Upper Duplex, one-bedroom flat situated within this well presented converted house on Melrose Avenue.

Accommodation comprises a large open plan reception room that can also be used as an additional dining area, a separate kitchen with a door opening onto a Juliet balcony and a three piece family bathroom suite. The entire Second Floor is double bedroom with ample eaves storage space and built in wardrobes.

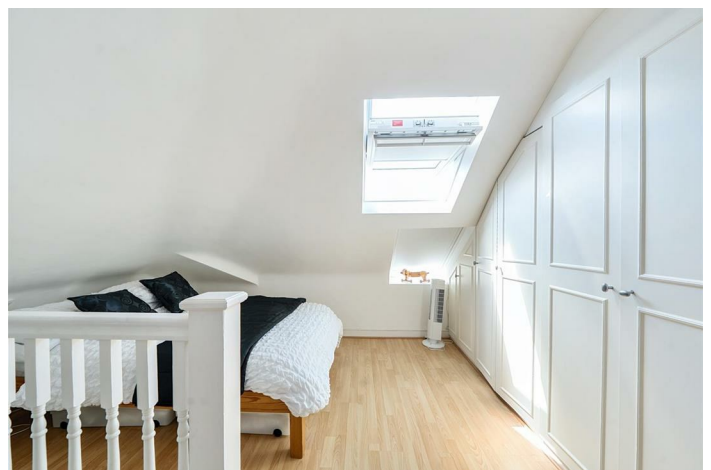
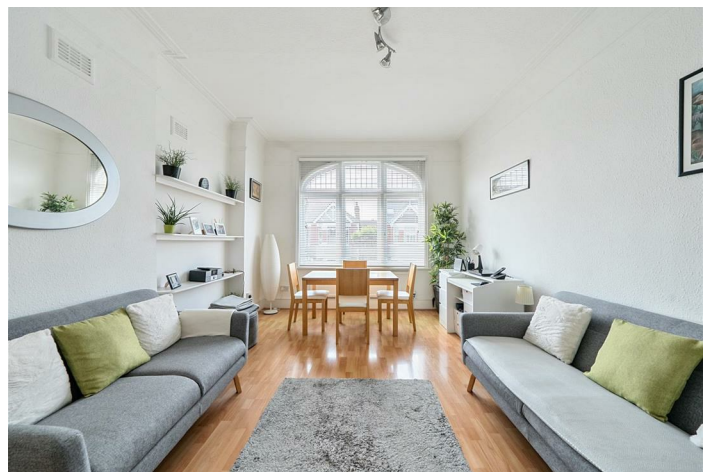
Melrose Avenue is a highly sought after road close to excellent transport links including Willesden Green (Jubilee zone 2), Cricklewood (Thameslink) and Kilburn (Jubilee zone 2) and the local amenities of Walm Lane. The green open spaces of the popular 86 acre Gladstone Park is close by where you can find an outdoor gym, tennis courts, rugby pitches and the Park Run every Saturday. Viewing is recommended.

- 1 bedroom upper duplex apartment
- Chain Free
- Gladstone Park nearby
- COUNCIL: Brent (C)

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## Melrose Avenue, London, NW2



Approximate Area = 477 sq ft / 44.3 sq m

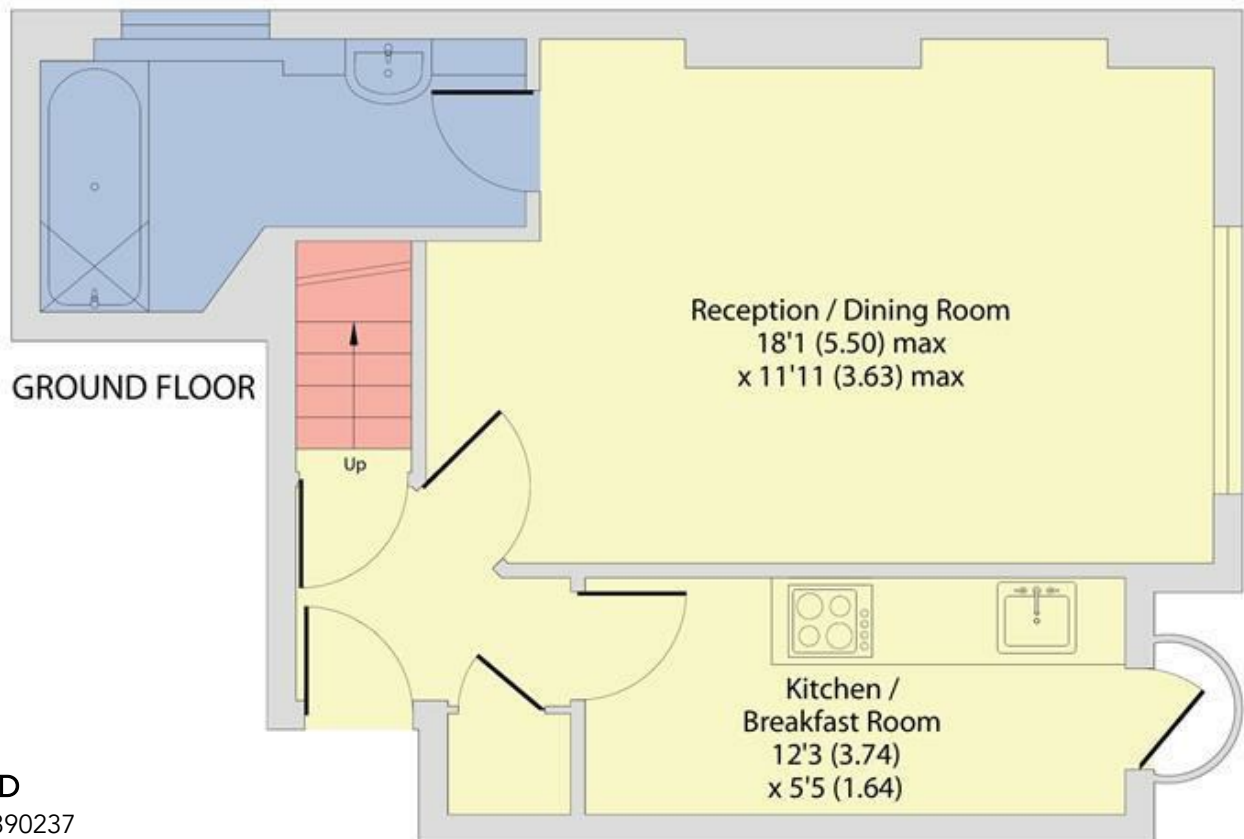
Limited Use Area(s) = 126 sq ft / 11.7 sq m

Total = 603 sq ft / 56 sq m

For identification only - Not to scale



FIRST FLOOR



GROUND FLOOR

EPC: D

Ref: 18390237



Floor plan produced in accordance with RICS Property Measurement 2nd Edition, Incorporating International Property Measurement Standards (IPMS2 Residential). © nichecom 2025. Produced for Camerons Stiff & Co. REF: 1312023

