



Ian Anthony
The Estate Agents

Gower Gardens, Burscough

Guide Price £240,000

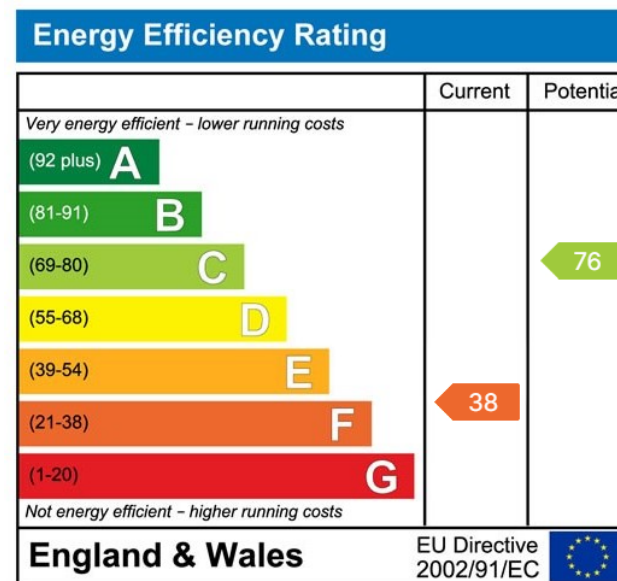
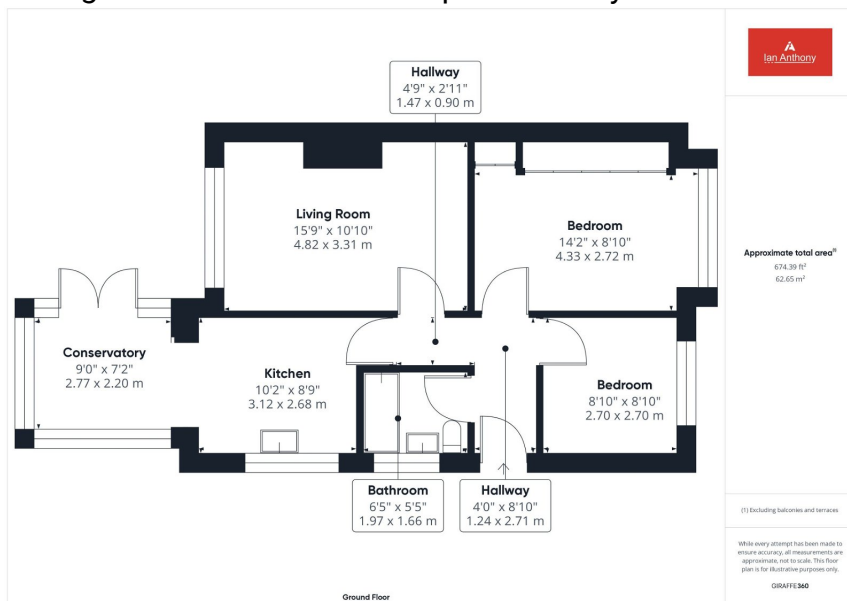
🛏️ 2 🍽️ 1 🚗 2



- RENOVATED TRUE SEMI DETACHED BUNGALOW
- MODERN KITCHEN
- CONSERVATORY
- DRIVEWAY PARKING
- TWO BEDROOMS
- LIVING ROOM
- PRIVATE REAR GARDEN
- DETACHED GARAGE



We are thrilled to present this recently renovated true semi-detached two-bedroom bungalow to the market. Boasting a comprehensive refurbishment, the property features new internal and external doors, windows, a modern kitchen, and a stylish bathroom, among many other contemporary upgrades and modern conveniences. In summary, the property comprises an entrance hallway, a sleek bathroom, a newly fitted kitchen, a conservatory, two bedrooms, and a spacious living room. Externally, the property offers a long block-paved driveway leading to a detached garage at the front, providing ample parking space. To the rear, a private south-facing garden awaits, offering a tranquil outdoor retreat. Situated in close proximity to Burscough Village, residents can enjoy easy access to a variety of amenities including bars and restaurants. Viewing is essential to fully appreciate the turnkey nature of this property, making it an ideal choice for all potential buyers.



These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

5 Burscough Street, Ormskirk, Lancashire, L39 2EG

Tel: 01695 580888 Email: enquiries@iananthonystates.co.uk <https://www.iananthonystates.co.uk>