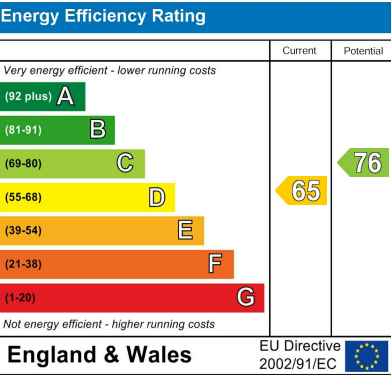


DIRECTIONS

From Kings Lynn town centre, proceed out along John Kennedy Road, continue onto Edward Benefer way, continue onto Grimston Road at the Knights Hill Hotel roundabout take the first exit signposted Hunstanton (A149) at the next roundabout take the first exit Hunstanton (A149) at the next roundabout take the first exit and follow the road til you reach the traffic lights at the Lavender Fields where you turn left onto Lynn Road then second left onto High Street where the property can be found on the left easily identified by our For Sale board.



NOTES FOR PURCHASERS:

MEASUREMENTS: All measurements quoted are approximate.

DRAWINGS/ SKETCHES/ PLANS: This representation is provided for general guidance and is not to scale.

VIEWING: If travelling some distance to view this property, and there are any points which you wish to discuss prior to your journey please contact our office and we will be pleased to help. We always endeavor to make our sales details as accurate and reliable as possible.

MONEY LAUNDERING: Under the Protection Against Money Laundering and the Proceeds of Crime Act 2002, we must point out that any successful purchasers who are proceeding with a purchase will be asked for proof of identification and current residency.

PHOTOGRAPHS: Photographs are reproduced for general information and it must not be inferred that any items are included for sale with the property, unless specified within these particulars.

IMPORTANT NOTICE: The services, central heating system, together with any appliances included in these particulars have not been tested by the agents and therefore cannot be guaranteed to be in full working order. We advise all prospective purchasers to employ their own independent qualified experts prior to purchase, as we are not qualified to express an opinion on these matters and therefore take no responsibility for their suitability or function.

"While every care has been taken in the preparation of this brochure, the details contained herein are for guidance purposes only and do not constitute any part of an offer or contract. All descriptions, dimensions, and references to condition are approximate and for general guidance only. The particulars are believed to be correct but their accuracy is not guaranteed.

All measurements are approximate and are for general guidance only. The property is sold subject to its existing condition, fixtures, fittings, and furnishings. Prospective purchasers are advised to conduct their own surveys and checks to satisfy themselves as to the condition and suitability of the property.

This brochure is not intended to be an offer or solicitation for the sale of the property but rather an invitation to treat. The property is being sold by our client, and Norfolk Property Agents are acting as agents for the seller.

Prospective purchasers should rely on their own enquiries and searches rather than the details contained in this brochure. We endeavour to provide accurate information but do not warrant the accuracy or completeness of the information contained herein.

This disclaimer is subject to the provisions of the Consumer Protection from Unfair Trading Regulations 2008, the Property Misdescriptions Act 1991 (where applicable), and all other relevant UK legislation."

"If the property is being sold as part of the estate of the deceased, and the sellers (as executors of the estate) may not have personal knowledge of the property or its contents.

The information contained in these particulars is based on details provided by the executors or other third-party sources. While we believe this information to be accurate, we cannot guarantee its accuracy or completeness.

Prospective purchasers are advised to conduct their own surveys, searches, and enquiries to satisfy themselves as to the condition, suitability, and value of the property.

The sellers and agents disclaim any liability for any inaccuracies or omissions in the particulars, and prospective purchasers should not rely solely on the information contained herein.

This property is sold in its current condition, and the sellers make no representations or warranties as to its condition, fitness for purpose, or compliance with any regulations or laws. By viewing or purchasing this property, prospective purchasers acknowledge that they have read, understood, and agreed to these terms." This disclaimer aims to protect the sellers and agents from potential liability arising from inaccuracies or omissions in the property particulars, while also informing prospective purchasers of the potential risks and encouraging them to conduct their own due diligence. It's essential to seek professional advice to ensure this disclaimer meets your specific needs and complies with relevant laws and regulations.



brittons
estate agents

www.brittons.net



2B High Street Heacham Norfolk PE31 7ER

BEAUTIFULLY PRESENTED TWO BEDROOM FIRST FLOOR APARTMENT
BENEFITTING A PRIVATE GARDEN, DETACHED GARAGE AND OFF ROAD PARKING.

Heacham

£190,000 Leasehold

01553 692828
sales@brittons.net





KITCHEN / BREAKFAST ROOM Range of base, wall and drawer units with worktop over. Stainless steel sink with mixer tap over, integrated oven and hob with extractor hood over, fridge, freezer and space for washing machine. Tiled floor. Radiator. Door to the rear aspect which leads to an external stair case leading to parking area, garage and garden.	12'10 max x 11'7 (3.91m max x 3.53m)
LOUNGE Wood effect flooring, range of built in storage cupboards and shelves. Two radiators. Window to front aspect.	13'7 x 11'10 (4.14m x 3.61m)
BATHROOM Four piece suite comprising of a hand wash basin set within a vanity unit, W.C, feature bath with central taps and a cubicle shower. Window to the side aspect. Tiled floor. Heated towel rail.	8'9 x 7'6 (2.67m x 2.29m)
BEDROOM ONE Fitted carpet, built in wardrobes, window to the front aspect.	12'9 x 8'10 (3.89m x 2.69m)
BEDROOM TWO Fitted carpet, built in wardrobes, window to the front aspect.	13'7 x 9'1 (4.14m x 2.77m)

GARDEN
The property benefits a private garden mainly laid to lawn, with borders. There is also a greenhouse.

GARAGE
Up and over door with side access personnel door.

IMPORTANT INFORMATION
MEASUREMENTS: All measurements quoted are approximate.

DRAWINGS/ SKETCHES/ PLANS: This representation is provided for general guidance and is not to scale.

VIEWING: If travelling some distance to view this property, and there are any points which you wish to discuss prior to your journey please contact our office and we will be pleased to help. We always endeavor to make our sales details as accurate and reliable as possible.

MONEY LAUNDERING: Under the Protection Against Money Laundering and the Proceeds of Crime Act 2002, we must point out that any successful purchasers who are proceeding with a purchase will be asked for proof of identification and current residency.

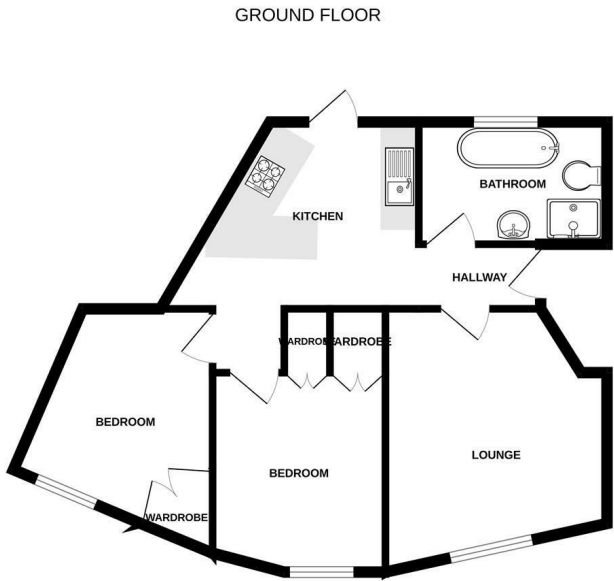
PHOTOGRAPHS: Photographs are reproduced for general information and it must not be inferred that any items are included for sale with the property, unless specified within these particulars.

IMPORTANT NOTICE: The services, central heating system, together with any appliances included in these particulars have not been tested by the agents and therefore cannot be guaranteed to be in full working order. We advise all prospective purchasers to employ their own independent qualified experts prior to purchase, as we are not qualified to express an opinion on these matters and therefore take no responsibility for their suitability or function. "While every care has been taken in the preparation of this brochure, the details contained herein are for guidance purposes only and do not constitute any part of an offer or contract. All descriptions, dimensions, and references to condition are approximate and for general guidance only. The particulars are believed to be correct but their accuracy is not guaranteed.

All measurements are approximate and are for general guidance only. The property is sold subject to its existing condition, fixtures, fittings, and furnishings. Prospective purchasers are advised to conduct their own surveys and checks to satisfy themselves as to the condition and suitability of the property. This brochure is not intended to be an offer or solicitation for the sale of the property but rather an invitation to treat. The property is being sold by our client, and Norfolk Property Agents are acting as agents for the seller.

Prospective purchasers should rely on their own enquiries and searches rather than the details contained in this brochure. We endeavour to provide accurate information but do not warrant the accuracy or completeness of the information contained herein.

Located in the charming coastal village of Heacham, Norfolk, this delightful first-floor flat presents a unique opportunity for those seeking a serene yet vibrant lifestyle. The property boasts two well-proportioned bedrooms, making it ideal for couples, small families, or even as a holiday retreat. The spacious reception room is bathed in natural light, creating a warm and inviting atmosphere that is perfect for relaxation or entertaining guests. One of the standout features of this flat is the private garden, a rare find in this area, offering a tranquil outdoor space for gardening, al fresco dining, or simply enjoying the fresh sea air. Additionally, the property includes off-road parking, along with a detached garage, providing ample storage and convenience. The flat is very well presented, ensuring that you can move in with ease and start enjoying your new home right away. Its location on the High Street places you within easy reach of local amenities, shops, and the beautiful beaches that Heacham is renowned for. This property is not just a home; it is a lifestyle choice, offering the perfect blend of comfort, convenience, and coastal charm. Don't miss the chance to make this exceptional flat your own.



Whilst every attempt has been made to ensure the accuracy of the description contained herein, measurements of plans, fixtures, fittings and any other items are approximate and no responsibility is taken for any error. Prospective purchasers should verify all measurements and details for themselves. This plan is for illustrative purposes only and should be used as a guide only. The property is sold subject to any conditions of sale. The services, systems and appliances shown have not been tested and no guarantee is given as to their operation or efficiency (see the plan).



