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Bridge Street Bishop Auckland, DL14 7PY

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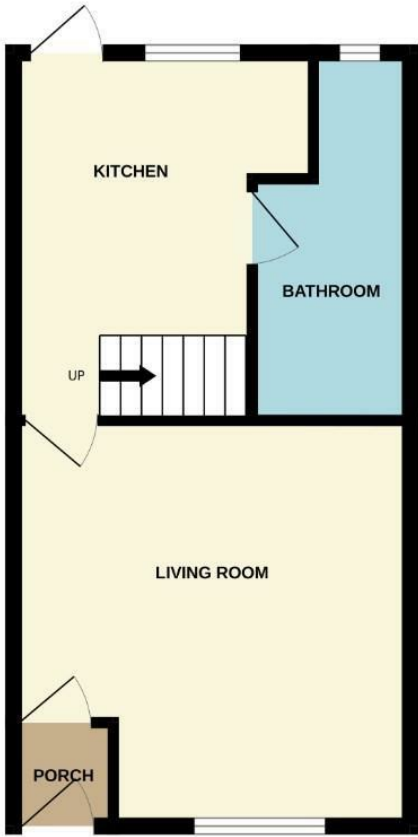
Price £70,000

Well presented three bedroomed mid-terraced property situated on Bridge Street, Bishop Auckland. Offered to the market with no onward chain, this property would be ideal for first time buyers and investors alike. With views overlooking the Wear Valley, situated just a short distance from Bishop Auckland's town centre, it is just a short distance from local amenities such as both primary and secondary schools, this property is also near to the town centre which offers a further array of facilities from supermarkets to popular high street retail stores and restaurants. There is an extensive public transport system in the area whilst the A689 is nearby leading to the A1(M) both North and South, ideal for commuters.

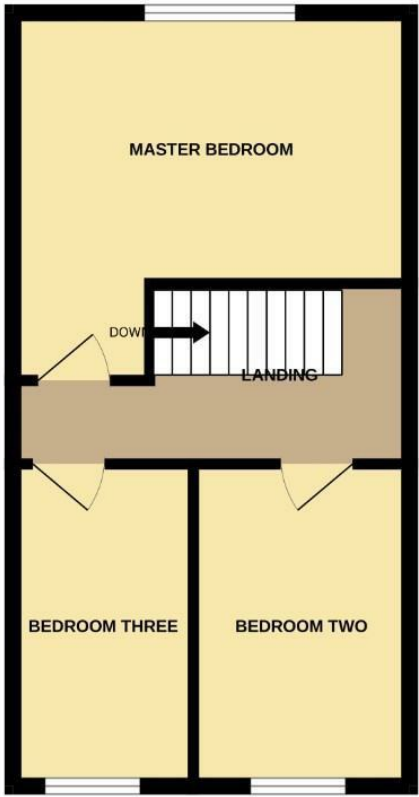
In brief, the property comprises; an entrance porch leading into the living room, kitchen and bathroom to the ground floor. The first floor consists of the master bedroom and two further bedrooms. Externally, there is on street parking available to the front of the property. To the rear, there is an enclosed rear yard with storage shed and gated access which has potential to be utilised as off street parking.

Hunters Bishop Auckland 147-149 Newgate Street, Bishop Auckland, DL14 7EN | 01388 311582
bishopauckland@hunters.com | www.hunters.com

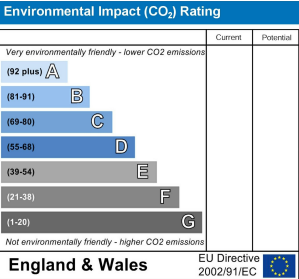
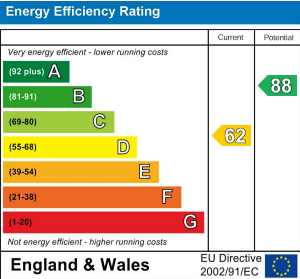
GROUND FLOOR



1ST FLOOR



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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Living Room

13'9" x 14'1"

Bright and spacious living room located to the front of the property benefiting from neutral decor, electric fire with feature surround and window providing plenty of natural light.

Kitchen

12'9" x 10'4"

Modern kitchen fitted with a range of wall, base and drawer units, complementing work surfaces, tiled splash backs and sink/drain unit. Space is available for free standing appliances.

Bathroom

12'5" x 5'6"

Wet room fitted with a shower, wash hand basin, WC and frosted window to the rear elevation.

Master Bedroom

14'1" x 9'6"

Master bedroom located to the rear of the property with ample space for a king sized bed, further bedroom furniture and benefiting from neutral decor.

Bedroom Two

11'1" x 7'5"

Second bedroom with space for a double bed, neutral decor and window to the rear elevation.

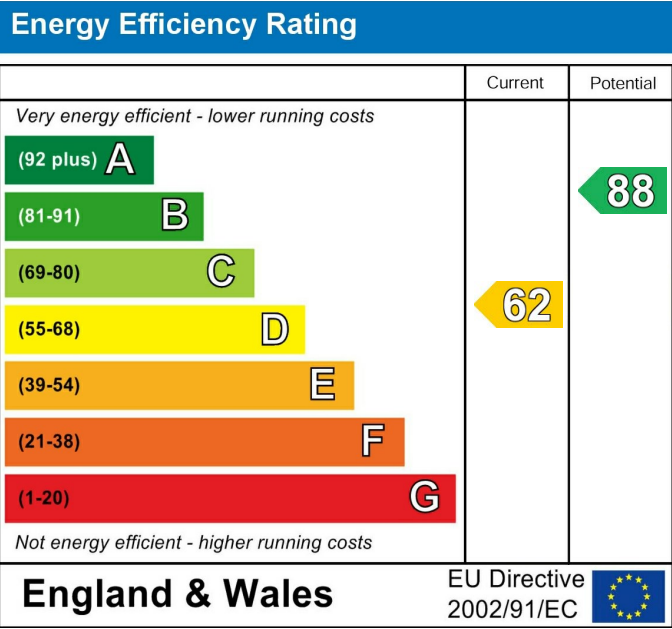
Bedroom Three

10'11" x 6'2"

The third bedroom has space for a single bed, further furniture and window to the front elevation.

External

Externally, there is on street parking available to the front of the property. To the rear, there in an enclosed rear yard with storage shed and gated access which has potential to be utilised as off street parking.



These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate. If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.



