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25 Austen Way, Crook, DL15 9UT

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## Price £495,000

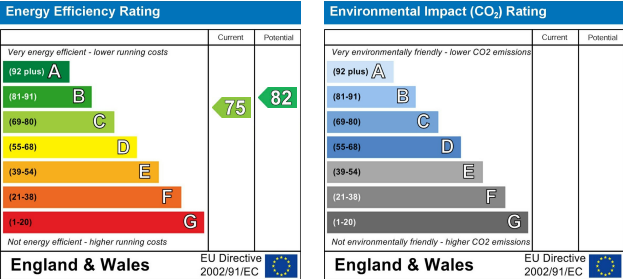
A fantastic opportunity to purchase this immaculately presented 5 bedrooomed detached family home positioned in a generous corner plot in Austen Way, Crook. Benefiting from a large drive and garage, the property has substantial off street parking for multiple cars, and extensive surrounding gardens mainly laid to lawn offer considerable outside space. It is situated just a short distance from the local amenities as well as having both primary and secondary schools in the town. The neighbouring towns of Crook and Bishop Auckland provide further amenities, as well as having an extensive public transport system not only the surrounding towns and villages but to further afield places such as Durham, Darlington and Newcastle. For commuters, the A690 leads to the A1 (M) both North and South.

In brief the property comprises; an entrance hall leading through into the living room, dining room, kitchen, garden room, bedroom, utility room and cloakroom. The first floor contains the master bedroom with ensuite, second bedroom with ensuite, two further bedrooms and family bathroom. Externally, the property has a large drive and lawned garden to the front. Gated driveway to the side of the elevation. Surrounding the side and rear, the property boasts further gardens mainly laid to lawn with well established perimeter borders, two sheds provide additional storage space and modern patio arears with rooved pergola perfect for sheltered outdoor seating.

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Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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**Living Room**

Bright and spacious living room, with ample space for furniture, gas fire with feature surround and large window to the front elevation providing plenty of natural light.

**Kitchen**

The kitchen is fitted with a range of modern wall, base and drawer units, complementing work surfaces, tiled splash backs and sink/drainers. Benefiting from an integrated double oven, hob, dishwasher and overhead extractor hood, space is available for further free standing appliances.

**Dining Room**

The dining room provides space for a table and chairs, further furniture and access leading through into the garden room.

**Garden Room**

The garden room provides a further seating area with views overlooking the garden.

**Utility Room**

The utility room provides space for further storage and appliances.

**Bedroom Five**

Downstairs bedroom accessed through the utility room with space for a double bed benefiting from neutral decor and window to the rear elevation.

**Cloakroom**

Fitted with a WC and wash hand basin.

**Master Bedroom**

The master bedroom provides space for a king sized bed, built in wardrobes, neutral decor and window to the front elevation.

**Ensuite**

The ensuite to the master bedroom contains a single shower cubicle, WC and wash hand basin.

**Bedroom Two**

The second bedroom is another large double bedroom with neutral decor, storage room, window to the rear elevation and access into the ensuite.

**Ensuite**

The ensuite to the second bedroom contains a single shower cubicle, heated towel rail, WC and wash hand basin.

**Bedroom Three**

The third bedroom is also a well sized double room with neutral decor, twin storage cupboards and window to the front elevation.

**Bedroom Four**

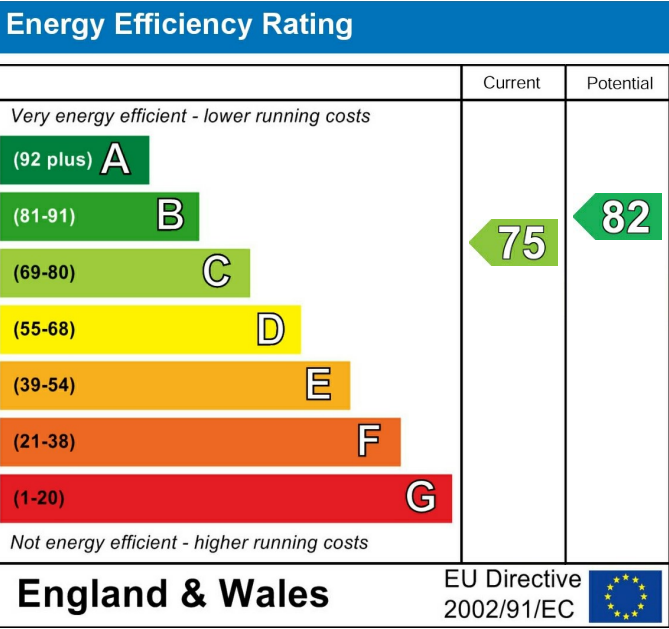
The fourth bedroom is a final double room with neutral decor and window to the rear elevation.

**Bathroom**

The family bathroom is fitted with a tiled bath, corner shower cubicle, heated towel rail, wash had basin, WC and frosted window to the rear elevation.

**External**

Externally, the property has a large drive and lawned garden to the front. Gated driveway to the side of the elevation. Surrounding the side and rear, the property boasts further gardens mainly laid to lawn with well established perimeter borders, two sheds provide additional storage space and modern patio arears with rooved pergola perfect for sheltered outdoor seating.



These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate. If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.























