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herbert r thomas

16 Abergarw Road
Brynmenyn, Bridgend, CF32
9LF

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16 Abergarw Road

Asking price **£205,000**

Situated in the popular Brynmenyn location within walking distance to school, shops and amenities and within close proximity to Junction 36 of the M4 is this well presented four bedroom mid terraced property.

Four bedrooms

Impressive sized reception room

Large open plan kitchen/diner

Bathroom with four piece suite

Garage and rear lane access

Recently renovated

Close commute to Junction 36 on the M4

Walking distance to local school, shops and amenities

Viewings are highly recommend





This generous four bedroom property with modern renovations, conservatory and garage is situated within close proximity of school, shops and junction 36 of the M4.

The property is entered via a partially glazed door into an entrance hallway. The entrance hallway has ornate tiled flooring, door to lounge and staircase rising to the first floor landing. The lounge is an impressive size room laid to laminate flooring with a large double glazed UPVC window to front, multi fuel log burner, octagon feature window and doorway to the kitchen. The kitchen has been fitted with a matching range of base and eye level units with square worktop space.

There is a ceramic sink with swan neck mixer tap, induction hob with

complimentary extractor fan overhead, eyelevel oven and microwave, space for one appliance, splashback tiling and wraparound island with the same matching worktops and breakfast bar. The kitchen/diner itself is an impressive size room with storage cupboard beneath the stairs, doorway to bathroom and double glazed UPVC French doors to the conservatory. The bathroom has been fitted with a four piece suite comprising of low-level WC, vanity unit wash hand basin and standalone bath and shower suite with slide panelling doors and waterfall showerhead. There is half height tiling to walls, full height tiling to wet areas and obscure glazed window to rear. The conservatory is of UPVC construction with

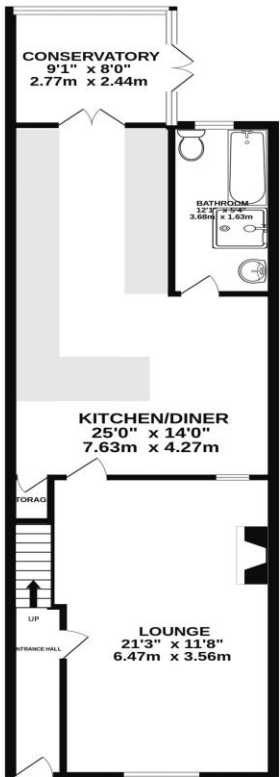
dwarf brick wall. There is ornate tiled flooring, radiator and double glazed UPVC French doors to side giving access to the garden.

To the first floor landing there is a loft inspection point and doorways to the four bedrooms. The master bedroom is an impressive sized double room with modern panelling and double glazed UPVC window to rear with views over the garden. Bedroom two is another impressive sized double room with built-in storage and a double glazed UPVC window to front. Bedroom three is a good sized double room with built-in storage cupboard and a UPVC double glazed window to rear sharing the same views of the master bedroom. Bedroom four is a good portioned single room with double glazed UPVC window to front.

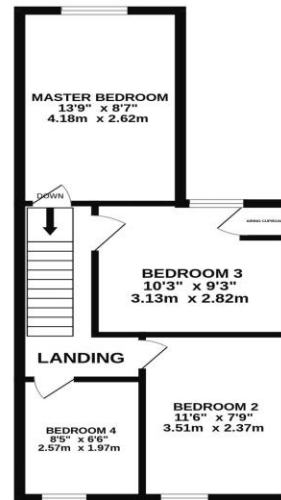
To the rear of the property is an enclosed and low maintenance garden with an outside tap and an external door giving access to the garage. The garage has power and electric roller door with rear lane access.

Viewings are highly recommended.

GROUND FLOOR
702 sq.ft. (65.3 sq.m.) approx.



1ST FLOOR
414 sq.ft. (38.4 sq.m.) approx.



TOTAL FLOOR AREA : 1116 sq.ft. (103.7 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.





Directions

From junction 36 of the M4 (Sarn) follow signs for Bryncethin and Blackmill. Proceed down the hill turning left at the traffic light signposted Brynmenyn. Proceed directly over the next two roundabouts, taking the first right hand turning signposted Llangeinor. Continue to follow the road passing the park on the left hand side continue to follow the road where the property can be found on the right hand side indicated by our for sale board.

Tenure

Freehold

Services


All mains
Council Tax Band C
EPC Rating E

Viewing strictly by appointment through Herbert R Thomas

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6/17/23, 11:15 AM Energy performance certificate (EPC) - Find an energy certificate - GOV.UK

Energy performance certificate (EPC)		
Mr. Alwynn Roder Brynmenyn 44100200 CF32 8LP	Energy rating E	Valid until: 13 November 2024 Certificate number: 9478-5900-7249-3804-0904
Property type	Mid-terrace house	
Total floor area	137 square metres	

Rules on letting this property

Properties can be let if they have an energy rating from A to E.

You can read [guidance for landlords on the regulations and exemptions](https://www.gov.uk/guidance/domestic-private-rented-property-common-energy-efficiency-related-standards-guidance) (<https://www.gov.uk/guidance/domestic-private-rented-property-common-energy-efficiency-related-standards-guidance>).

Energy rating and score


This property's current energy rating is E. It has the potential to be E.

[See how to improve this property's energy efficiency.](#)

The graph shows this property's current and potential energy rating.

Properties get a rating from A (best) to G (worst) and a score. The better the rating and score, the lower your energy bills are likely to be.

For properties in England and Wales: the average energy rating is D the average energy score is 60



<https://find-energy-certificates.service.gov.uk/energy-certificates/9478-5900-7249-3804-0904/summary>

1/4



