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5 Rees Row
Bryncethin, Bridgend, CF32
9TR

5 Rees Row

Asking price **£199,950**

This beautifully renovated three bedroom end terrace cottage, built in the 1850's which boasts lots of charm and original character situated in the popular Village of Bryncethin selling with no on-going chain and within close proximity to local school, shops, amenities and junction 36 of the M4.

Three bedroom cottage

Beautifully renovated throughout

No chain

Full of character

Original features

Four-piece suite bathroom

Popular Bryncethin location

Close proximity to junction 36 of the M4

Viewings highly recommended





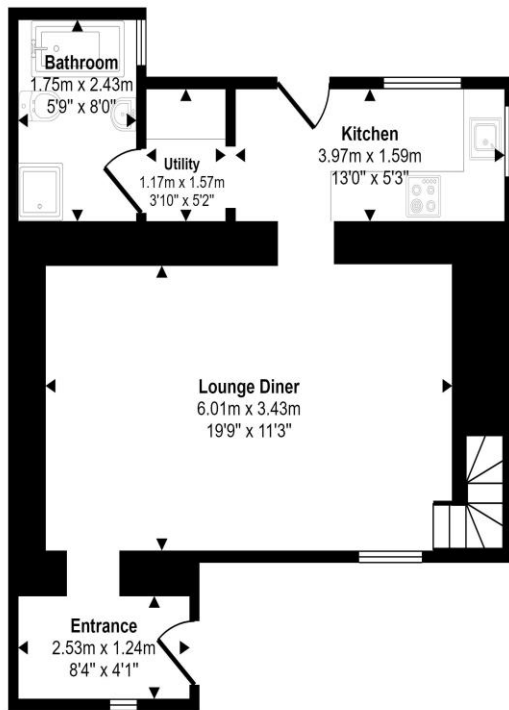
This modernised three bedroom end terrace cottage dating back to the 1850's benefiting from original build with thick stone walls, original features, lots of charm and situated in the popular Bryncethin village within close proximity to local school, shops, amenities and junction 36 of the M4. The property is entered via a UPVC double glazed door leading into an entrance hall with an original stone archway opening that leads through to the lounge. The lounge offers lots of charm with a feature stone spiral staircase leading to the first floor, laid to laminate flooring, decorative wood panelling, electric feature fire and a

feature oak beam. The kitchen leads off from the lounge which has been fitted with a range of sage green base and eyelevel units with matching work surfaces comprising; electric oven and hob, Belfast sink with mixer tap, space and plumbing for appliances, two double glazed windows to the side and rear allowing lots of natural light to pour into the space and a double glazed door leading to the courtyard. From the kitchen is a utility area which houses the wall hung Worcester boiler and a doorway to the family bathroom. The family bathroom has been fitted with a four-piece suite comprising; beautiful freestanding bath,

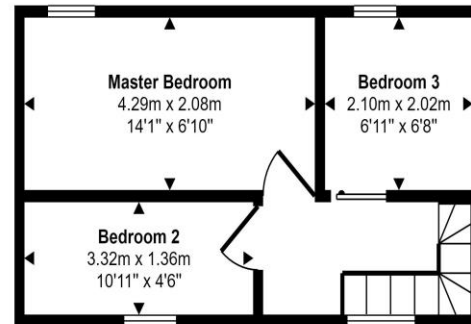
separate shower cubicle with electric shower, WC and vanity unit wash hand basin. To the first floor landing there are doorways leading to all three bedrooms. The main bedroom is laid to carpet with wood panelling and a vaulted ceiling which showcases the original exposed beams. Bedrooms two and three also are laid to carpet and additionally benefit from exposed wooden beams. To the rear and the side of the property is a small courtyard garden laid to decorative chippings.

Viewings on the property are highly recommended to appreciate the charm and offer in hand.

**Approx Gross Internal Area
69 sq m / 746 sq ft**



**Ground Floor
Approx 46 sq m / 495 sq ft**



**First Floor
Approx 23 sq m / 251 sq ft**

This floorplan is only for illustrative purposes and is not to scale. Measurements of rooms, doors, windows, and any items are approximate and no responsibility is taken for any error, omission or mis-statement. Icons of items such as bathroom suites are representations only and may not look like the real items. Made with Made Snappy 360.





Directions

From junction 36 of the M4, follow the signs for Bryncethin onto the A4061. Head North on the road for approximately one mile, passing a 30 mph sign and speed camera. Take the next left onto Heol Canola and Rees Row will be found on the second right where the property will be found on the left hand side as indicated by our for sale board.

Tenure

Freehold

Services

All mains
Council Tax Band B
EPC Rating D

Viewing strictly by appointment through Herbert R Thomas

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hrt Est. 1926 **RICS**

9724, 12:55 PM Energy performance certificate (EPC) - Find an energy certificate - GOV.UK

Energy performance certificate (EPC)			
5 Hess Row Bridgend CF31 3TR	Energy rating D	Valid until: 2 June 2033	Certificate number: 7000-8887-0322-0390-5873
Property type	End-terrace house		
Total floor area	61 square metres		

Rules on letting this property

Properties can be let if they have an energy rating from A to E.

You can read [guidance for landlords on the regulations and exemptions](https://www.gov.uk/guidance/domestic-certificate-requirements-minimum-energy-efficiency-standards-guidance) (<https://www.gov.uk/guidance/domestic-certificate-requirements-minimum-energy-efficiency-standards-guidance>).

Energy rating and score

This property's energy rating is D. It has the potential to be B.

[See how to improve this property's energy efficiency.](#)

The graph shows this property's current and potential energy rating.

Properties get a rating from A (best) to G (worst) and a score. The better the rating and score, the lower your energy bills are likely to be.

For properties in England and Wales:
The average energy rating is D
The average energy score is 60

These particulars are believed to be accurate but they are not guaranteed to be so. They are intended only as a general guide and cannot be construed as any form of contract, warranty or offer. The details are issued on the strict understanding that any negotiations in respect of the property named herein are conducted through Herbert R. Thomas.

