



30 Harrier Green, Holbury
£315,000



ANTHONY JAMES
PROPERTIES



30 Harrier Green

Holbury, Southampton

Nestled in a sought-after location, this charming 3 bedroom semi-detached house offers a wonderful opportunity to create a beautiful family home. Boasting a detached garage with a two-car driveway, this property is perfect for those seeking both convenience and space. The interior features three bedrooms, two bathrooms, gas-fired central heating, and double glazing throughout, offering comfort and functionality. With potential for improvement, this semi-detached residence presents an ideal canvas for personalisation and future growth. The property also benefits from a walled rear garden, providing a private outdoor sanctuary for relaxation and entertainment. Additionally, its close proximity to the New Forest National Park ensures easy access to stunning natural landscapes and recreational activities.

Outside, the meticulously maintained rear garden offers a quiet charm, with a patio pathway leading to the driveway and detached garage. The lawn is complemented by well-established plants, shrubs, and even a grape vine, creating a picturesque setting for outdoor enjoyment. The detached garage features a pitched roof, manual up-and-over door, power, and lighting, offering ample storage space and practicality. Completing this pleasant property is driveway parking for one to two cars, providing convenience and ease of access for residents and guests alike.

Council Tax band: C

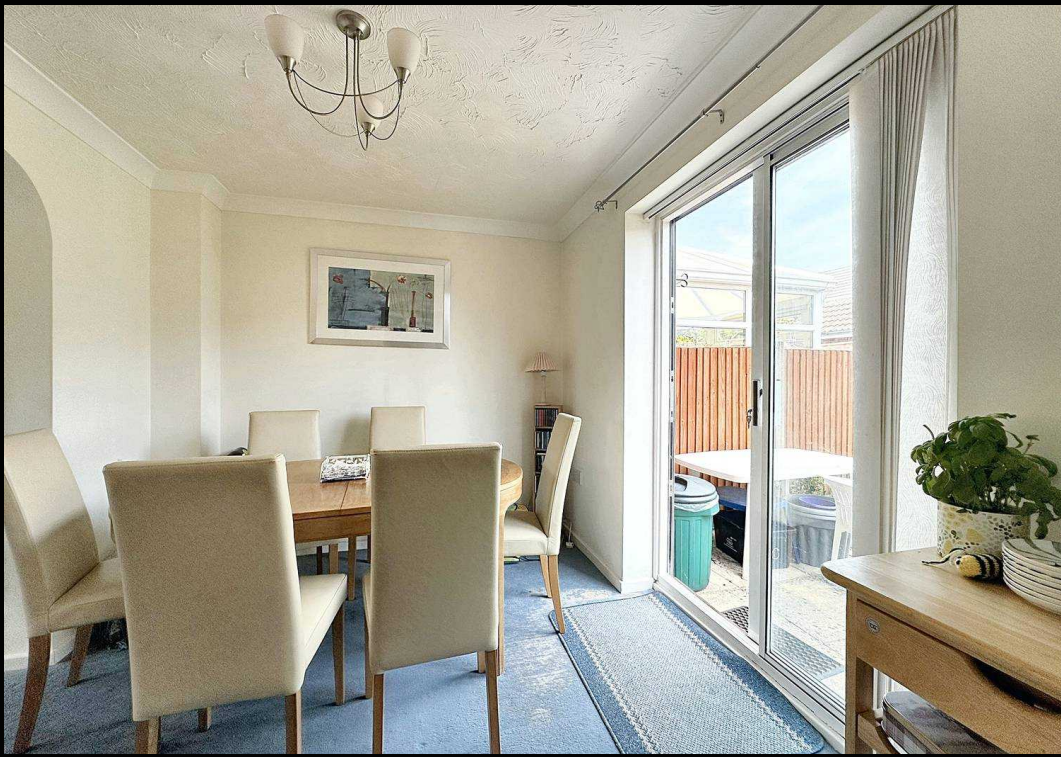


1 Southward House
Dibden Purlieu SO45 4PT

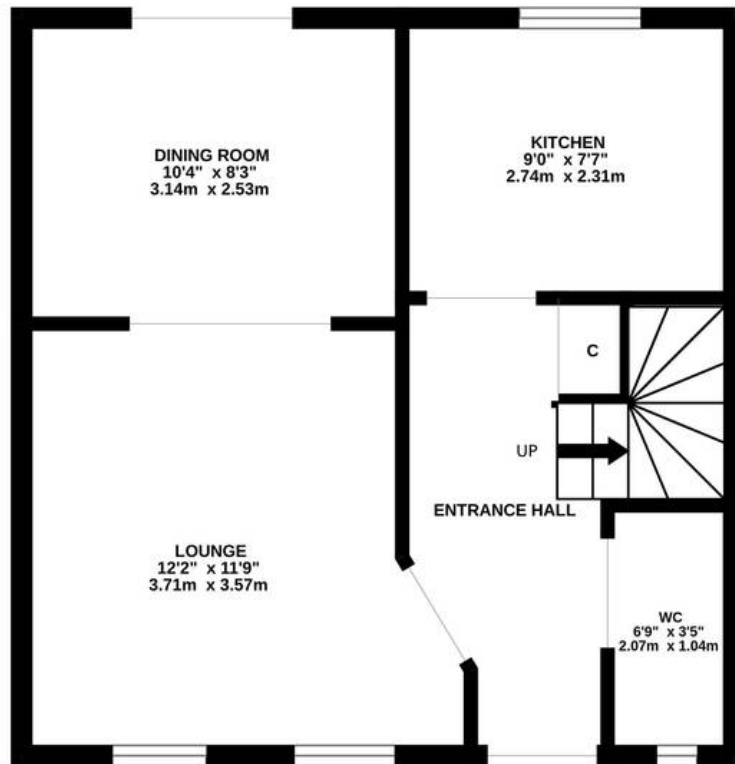


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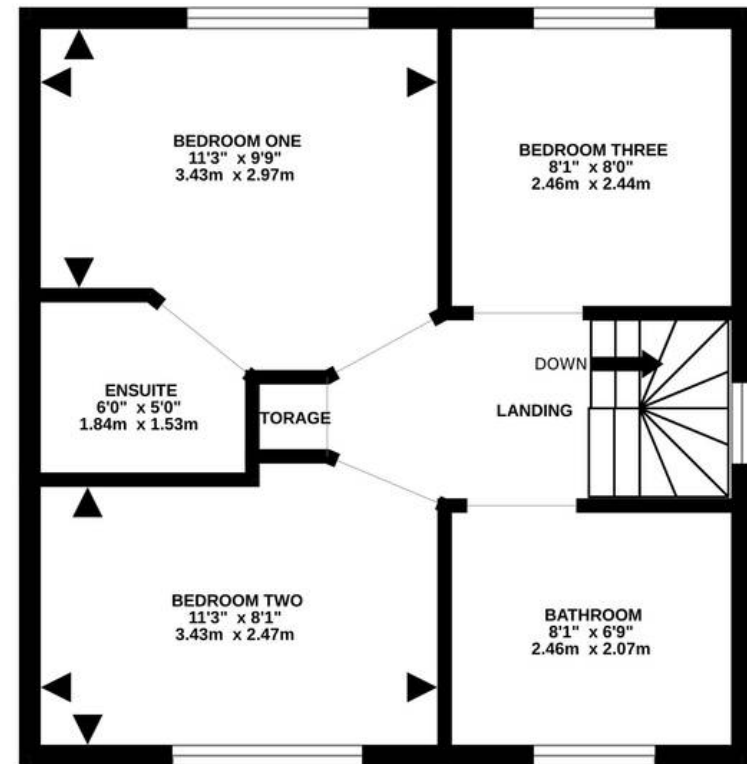
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GROUND FLOOR
386 sq.ft. (35.9 sq.m.) approx.



1ST FLOOR
386 sq.ft. (35.9 sq.m.) approx.



TOTAL FLOOR AREA : 772 sq.ft. (71.7 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.